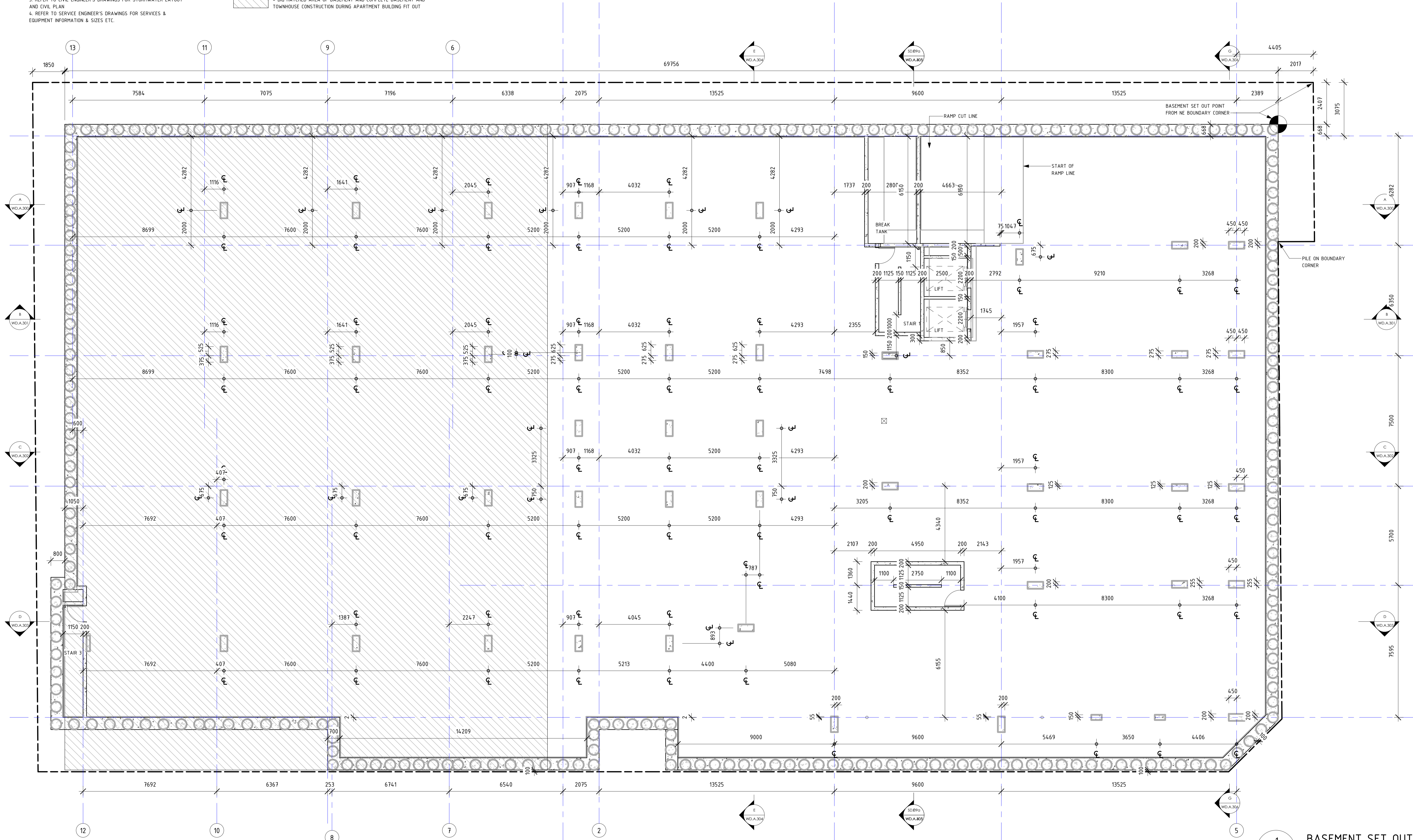


NOTES FOR BUILDER:
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3. REFER TO CIVIL ENGINEER'S DRAWINGS FOR STORMWATER LAYOUT AND CIVIL PLAN.
4. REFER TO SERVICE ENGINEER'S DRAWINGS FOR SERVICES & EQUIPMENT INFORMATION & SIZES ETC.

HATCHED AREA DENOTES STAGED BASEMENT CONSTRUCTION.
- CONSTRUCT PERIMETER PILES AND CAPPING BEAM TO ENTIRE SITE.
- DIG BASEMENT UNDER APARTMENT BUILDING ONLY, TO GRID 1 APPROX.
- USE HATCHED AREA FOR SITE OFFICE AND DELIVERIES UNTIL APARTMENT BUILDING STRUCTURE IS COMPLETE.
- DIG HATCHED AREA OF BASEMENT AND COMPLETE BASEMENT AND TOWNHOUSE CONSTRUCTION DURING APARTMENT BUILDING FIT OUT.



BASEMENT SET OUT

1 : 100

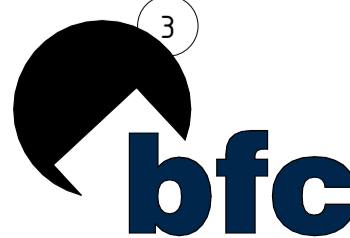
REVISIONS

ISSUE #	DATE	DESCRIPTION
A	25/03/2019	FOR BRC APPROVAL
B	14/05/2019	REVISED SET BASED ON BRC RFI PC59515

PROJECT ADDRESS
248 UNLEY ROAD HYDE PARK
HYDE PARK PLACE - STAGE A

CLIENT
HYDE PARK PLACE PTY LTD

CITIFY



SHEET
BASEMENT SET OUT PLAN

WD.004

AUTHOR
GB

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ISSUE DATE
29/06/2019

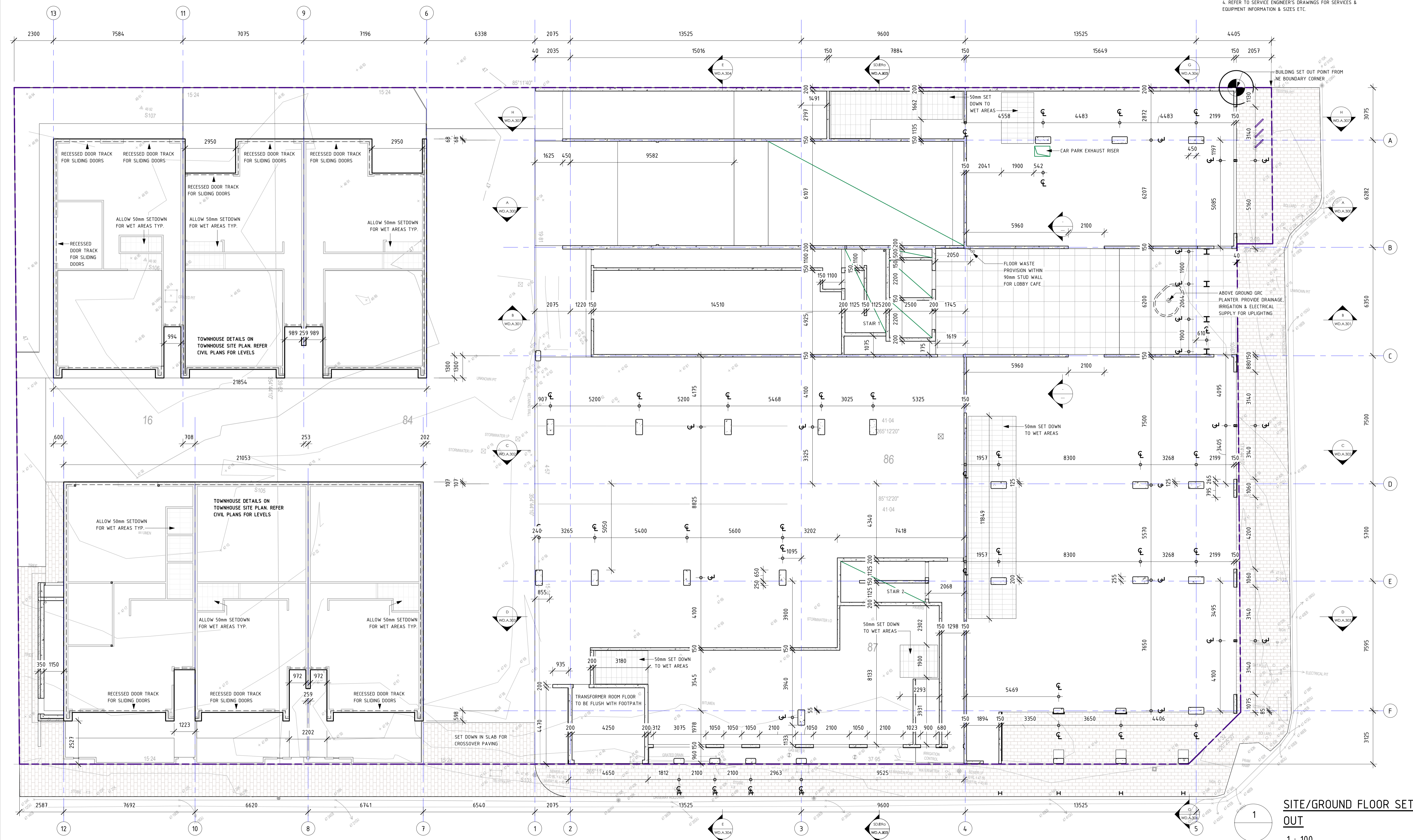
FOR TENDER

GEMMA

LEA
DESIGN STUDIO

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SITE/GROUND FLOOR SET
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SITE/GROUND SITE SET OUT
PLAN
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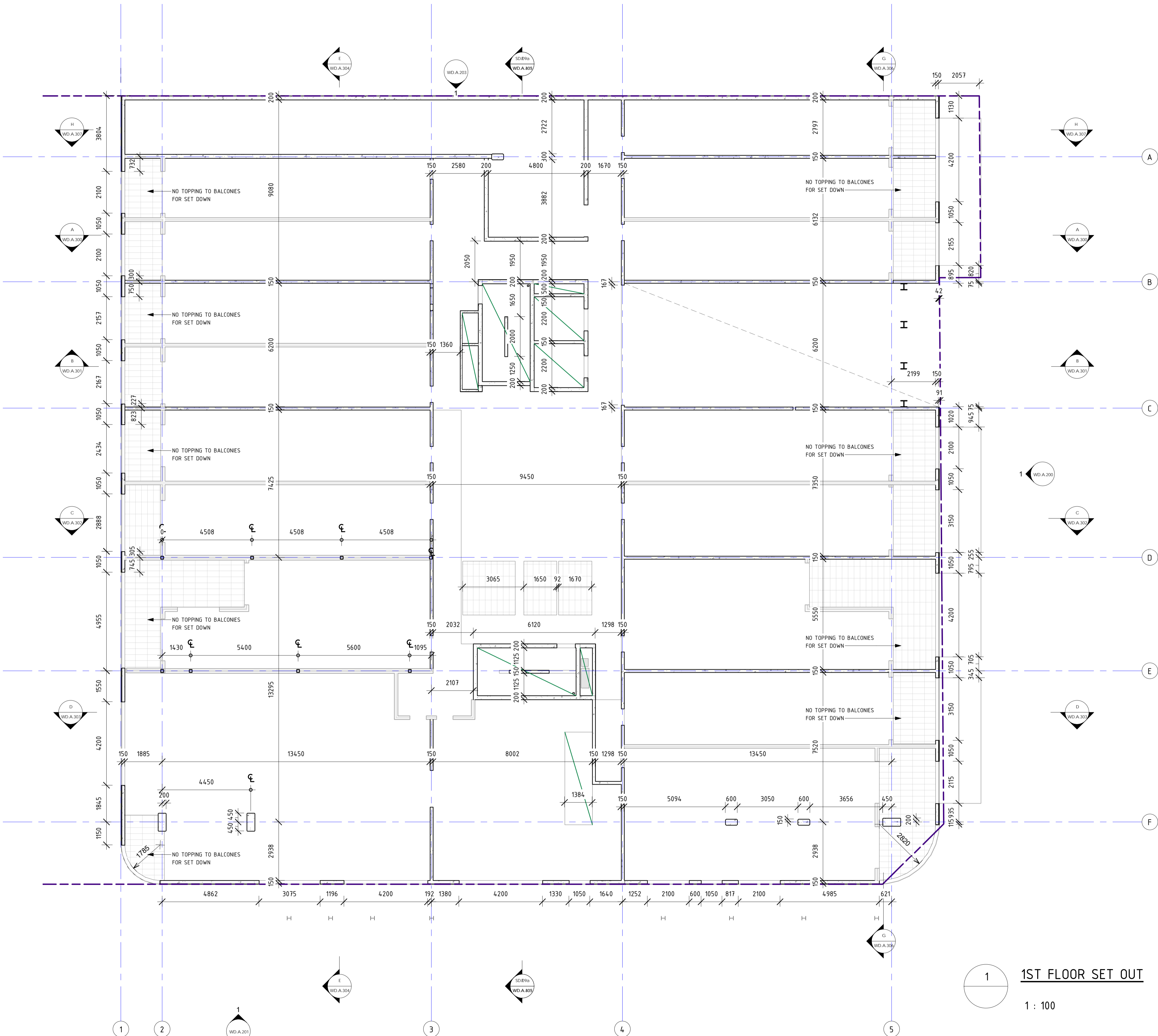
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SHEET
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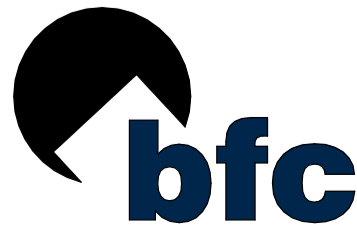
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PROJECT ADDRESS
248 UNLEY ROAD HYDE PARK

HYDE PARK PLACE - STAGE A

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HYDE PARK PLACE PTY LTD

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SHEET
2ND FLOOR SET OUT PLAN

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CURRENT REVISION
FOR TENDER & BRC

ISSUE DATE
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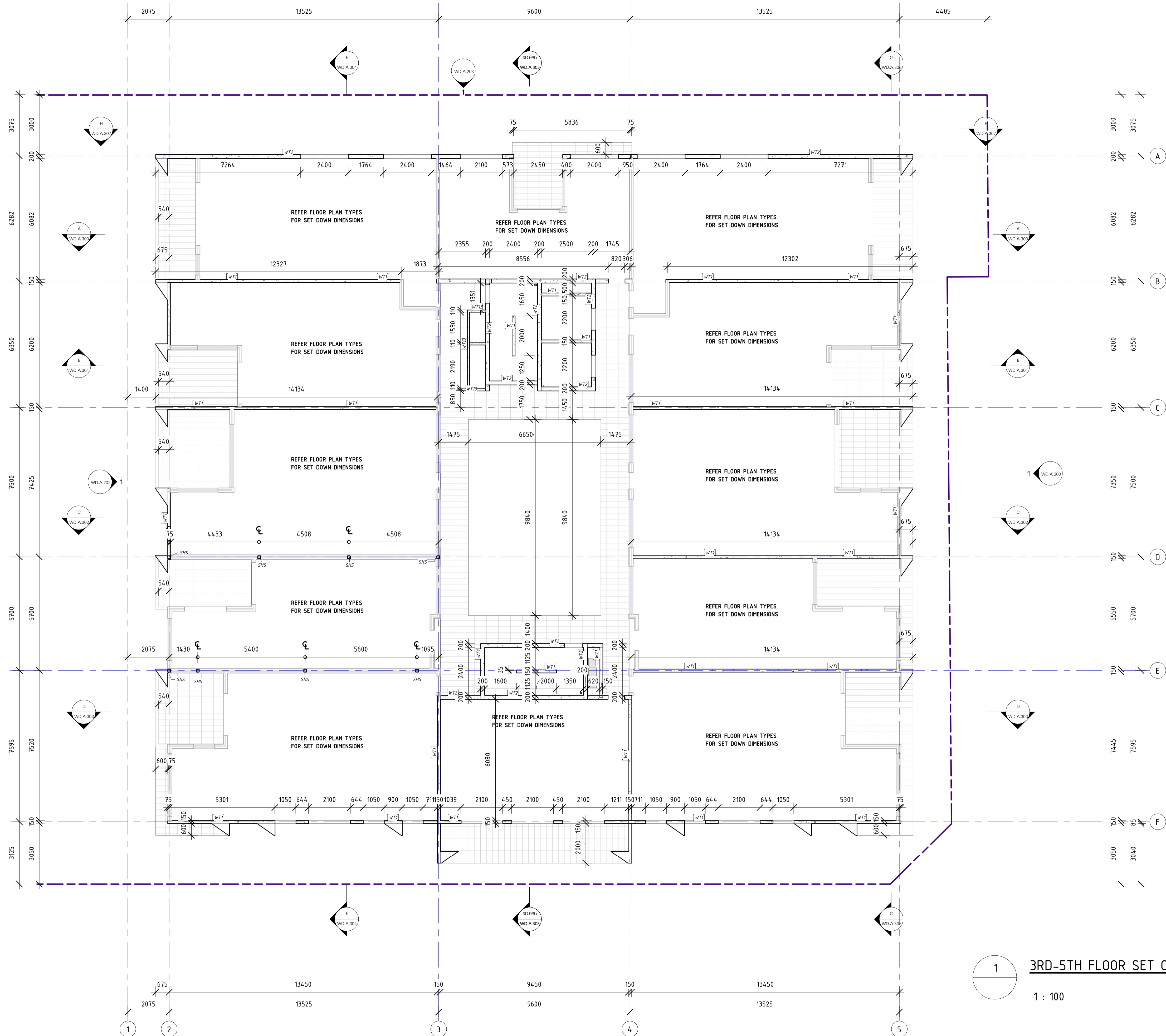
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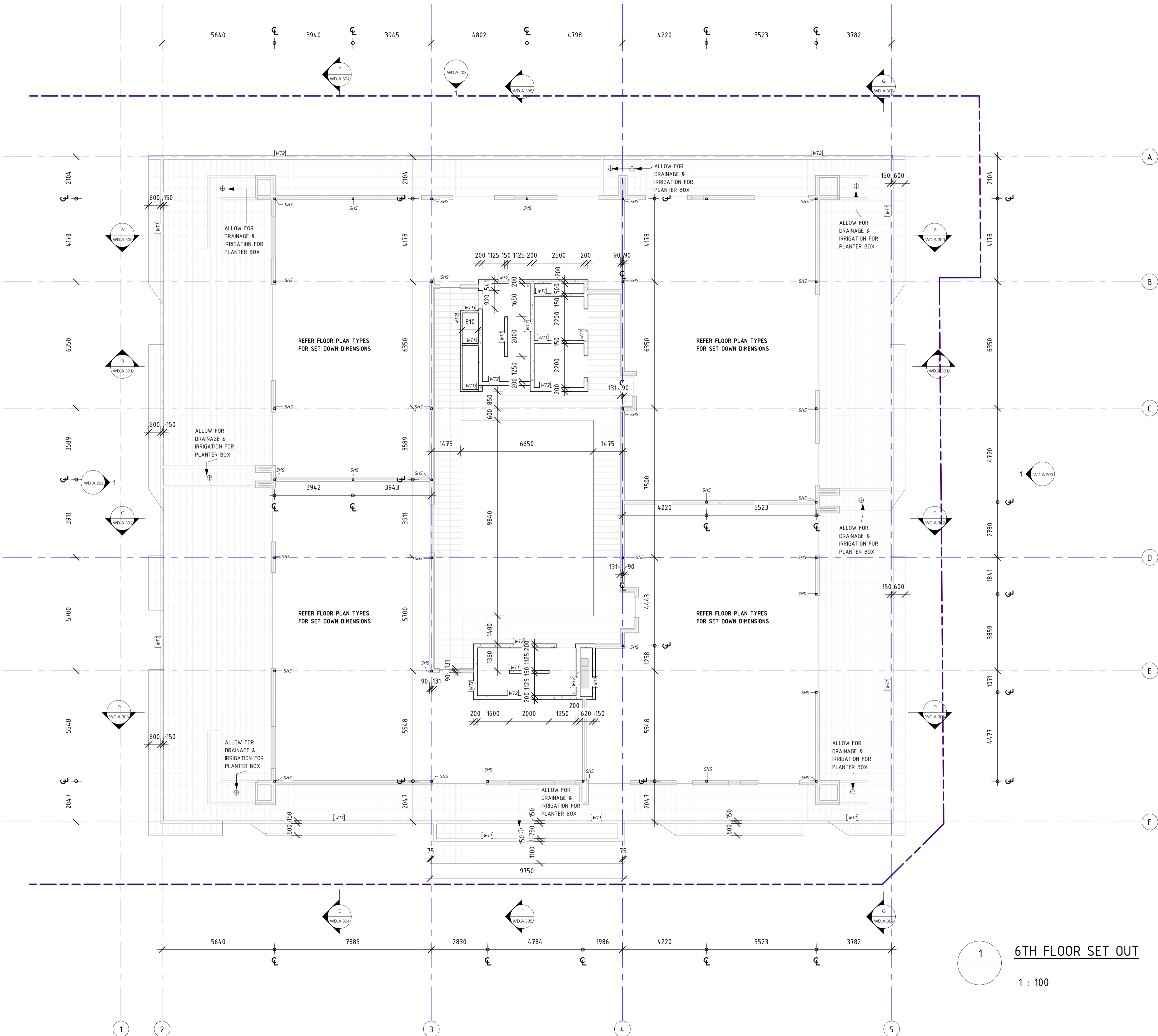
PROVISION OF BRAILLE AND TACTILE SIGNAGE IN ACCORDANCE WITH AS1428.1-2009 SECTION 8 AND NCC D3.8.

ALL SWITCHES AND CONTROLS ON THE ACCESS PATHS OF TRAVEL TO BE LOCATED BETWEEN 900-1100MM ABOVE FFL AND NOT LESS THAN 500MM FROM INTERNAL CORNERS AS PER SECTION 14 OF AS1428.1-2009.

DOORWAYS REQUIRED TO BE ACCESSIBLE TO PROVIDE 30% LUMINANCE CONTRAST TO IDENTIFY THE LOCATION OF ALL DOORWAYS IN ACCORDANCE WITH SECTION 13.1 OF AS1428.1-2009.

ACCESSIBLE TOILET PANS TO BE PROVIDED WITH A SEAT AND BACKREST IN ACCORDANCE WITH CLAUSE 15.2.3 & 15.2.4 OF AS1428.1.

SUMP AND PUMPS TO BE SELECTED AND INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF AS3500.3 PART 3.2.



WATERPROOFING NOTES

ALL WATERPROOFING TO WET AREAS AND WET AREA DETAILS TO BE IN ACCORDANCE WITH AS3740-2004 AND THE MINISTERS SPECIFICATION (SA F1.7)

WALL FINISHES SHALL BE IMPERVIOUS TO HEIGHT OF 1800MM ABOVE FINISHED FLOOR LEVEL TO SHOWER ENCLOSURES AND 1500MM ABOVE BATHS, BASINS, SINKS AND TROUGHS.

WATERPROOFING METHODS TO BALCONIES AND DECKS TO COMPLY WITH AS4654 PARTS 1 & 2.

FLOOR WASTES TO BE IN ACCORDANCE WITH NCC SA F1.11 PROVISION OF FLOOR WASTES. ALL PLUMBING FIXTURES TO BE PROVIDED WITH IN-BUILT OVERFLOW PROTECTION.

ACOUSTIC NOTES

REFER TO THE VIPAC ENGINEER'S ACOUSTIC ASSESSMENT REPORT FOR THE REQUIRED NOISE LIMITS.

IN ADDITION, REFER TO COUNCIL PLANNING CONDITIONS WHERE APPLICABLE.

NATHERS REPORT

REFER TO THE ENGINEER'S NATHERS ASSESSMENT REPORT FOR THE THERMAL INSULATION AND GLAZING REQUIREMENTS.

GENERAL NOTES

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, DOCUMENTATION, SCHEDULES AND SPECIFICATIONS.

BUILDER TO CHECK AND CONFIRM ALL PLAN AND SITE SET OUT DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

SITWORKS, DRAINAGE AND LEVELS TO BE AS PER ENGINEER'S DESIGN AND DETAIL.

WRITTEN DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALE.

GROUND LEVELS AND FINISHED FLOOR LEVELS INDICATED ARE APPROXIMATE ONLY AND ARE TO BE CONFIRMED ON SITE.

REFER TO ENGINEER'S DESIGN, DOCUMENTATION, CALCULATION AND SPECIFICATION FOR STRUCTURAL, ELECTRICAL, HYDRAULIC AND CIVIL DETAILS (IF APPLICABLE).

ANY DISCREPANCIES IN DOCUMENTS AND/OR ON SITE TO BE REPORTED TO THE BUILDING DESIGNER BEFORE ANY WORK IS COMMENCED.

PRECAST MANUFACTURER TO CONFIRM ALL DOORWAY OPENING DIMENSIONS AND CONTROL BUTTON PENETRATIONS WITH LIFTS MANUFACTURER PRIOR TO MANUFACTURE.

REFER TO ENGINEER'S DETAILS FOR ALL PRECAST PANEL JOINT LOCATIONS.

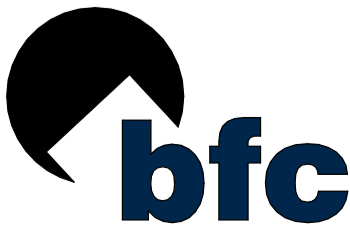
REVISIONS		
ISSUE #	DATE	DESCRIPTION
D	29/06/2019	FOR TENDER & BRC

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248 UNLEY ROAD HYDE PARK

HYDE PARK PLACE - STAGE A

CLIENT
HYDE PARK PLACE PTY LTD

CITIFY



SHEET
6TH FLOOR SET OUT PLAN

WD.A.009

AUTHOR
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CURRENT REVISION
FOR TENDER & BRC

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